

**BEFORE THE HON'BLE NATIONAL GREEN TRIBUNAL (SZ) CHENNAI**

**APPEAL No.93 of 2017**

AJAYGOSH

...APPELLANT

VERSUS

STATE ENVIRONMENT IMPACT

ASSESSMENT AUTHORITY,

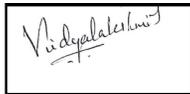
KERALA AND OTHERS

...RESPONDENTS

**DOCUMENTS**

Sl.No	DATE	PARTICULARS	PAGE No.
1	22.04.2016	REPLY TO THE QUERY RAISED IN 33 <sup>rd</sup> MEETING RECEIVED FROM THE PROJECT PROPONENT WITH DOCUMENTS	1-20
2		INSPECTION REPORT	21
3	22.04.2016	REPLY TO THE INSPECTION REPORT RECEIVED FROM PROJECT PROPONENT WITH DOCUMENTS	22-37
4	24.01.2017	LETTER ALONG WITH AFFIDAVIT AS DIRECTED BY SEIAA	38-40
5	17.10.2016	CSR	41-47

DATE: 27/10/2020



STANDING COUNSEL FOR SEIAA, KERALA

VIDYALAKSHMI VIPIN  
19,CASA MAJOR ROAD,  
EGMORE  
CHENNAI-600 008  
vidyalakshmi@wialegal.com



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22/4/16  
D

02-04-2016

**The Chairman**  
State Environment Impact Assessment Authority (SEIAA)  
Pallimukku, Pettah P.O.,  
Thiruvananthapuram, Kerala – 695 024

Ref. :- File No. 371/SEIAA/KL/2611/2014

Sub.:- Environmental Clearance – Proposed Housing Project "Sobha Rio Vista" in Sy. Nos. 159/28B (p) at Calicut, Feroke Petta (Chandhakadavu), Feroke Village and Panchayath, Kozhikode Taluk, Kozhikode District, Kerala – Clarifications – Reg.

Respected Sir,

With reference to the above mentioned subject, mentioned below is the point wise reply to the queries raised in the minutes of the 33<sup>rd</sup> meeting of State Level Expert Appraisal Committee (SEAC) Kerala, held on 2<sup>nd</sup> & 3<sup>rd</sup> September, 2014.

**Q. 1. Copy of the joint venture agreement between M/s Sobha Developers Ltd. and the land owner of the present project site.**

**Ans.** The copy of the joint venture agreement between M/s Sobha Developers Ltd. and the land owner of the present project site is attached at **Annexure No.1.**

**Q. 2. Original cadastral map of the project site.**

**Ans.** The original cadastral map of the project site is attached at **Annexure No. 2.**

**Q. 3. Revised plan showing the provisions made for mechanical ventilation & for supporting the structures of basement floors. In the said plan, the set back stipulated as per Rule 37 (5) of KPBR and the minimum width of 7 m for the drive way should also be demarcated.**

**Ans.** The details are provided in the attachment (**Annexure No. 3).**

**Q. 4. Details regarding the quantity of removal of ordinary earth and its utilization.**

**Ans.** The details are provided at **Annexure No. 4.**

**Q. 5. Details on the provisions made for ultra filtration and additional aeration of treated sewage water.**

**Ans.** The details are provided at **Annexure No. 5.**



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**Q. 6. KCZMA recommendations.**

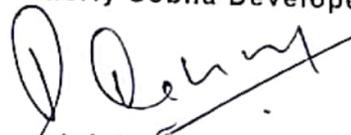
**Ans.** The KCZMA recommendations from Kerala Coastal Zone Management Authority (KCZMA) are attached at **Annexure No. 6.**

**Q. 7. Detailed plan regarding the fire fighting facilities proposed to be installed as part of the present project.**

**Ans.** The details are provided at **Annexure No. 7.**

In view of the submission to the queries raised by the SEAC, we humbly request you to accord Environment & CRZ Clearance to our project at the earliest.

Thanking you,  
Yours respectfully,  
For Sobha Limited.,  
(Formerly Sobha Developers Ltd.,)

  
RAMAKRISHNAN PRABHAKARAN.  
Ramakrishnan Prabhakaran  
(Authorized Signatory)

Encl: As above

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കേരളം KERALA

V 129514

**ADDENDUM TO DEVELOPMENT AGREEMENT DATED 23/01/2013**

THIS ADDENDUM TO DEVELOPMENT AGREEMENT IS MADE AND EXECUTED ON THIS THE TENTH DAY OF MARCH, YEAR TWO THOUSAND FOURTEEN (10/03/2014):

**BETWEEN**

1. Mr. Gautam U Nambisan, S/o Late Mr. Unnikrishnan Nambisan, Aged about 38 years, Residing at S2, Belvista Apartment, No.206, 3<sup>rd</sup> Main, Defence Colony, HAL II Stage, Bangalore - 560038;
2. M/s. Veerabhadrappa Sangappa & Company ("VESCO"), A Partnership firm constituted under Indian Partnership Act, having its registered office at No 2/138, Bellary Road, Sandur, Bellary District - 583119, represented by its Partner, Sri. K. S. Mayumath,

hereinafter collectively called the "FIRST PARTY/OWNERS" and individually as "OWNER NO. 1 and OWNER NO. 2" (Which expression wherever it so requires shall mean and include his respective heirs, legal representatives, administrators, executors and assigns etc.,) OF THE FIRST PART:

**AND**

Sobha Developers Limited, a company incorporated and existing under the Companies Act, 1956 and having its office at SOBHA, Sarjapur - Marathahalli Ring Road, Devarabinsnahalli, Bellandur Post, Bangalore - 560 103 represented by its authorized signatory, Mr. P. Ramakrishnan, hereinafter called the "SECOND PARTY/ DEVELOPER" (Which expression wherever it so requires shall mean and include all its successors-in-interest and permitted assigns etc.,) OF THE SECOND PART:



For Veerabhadrappa Sangappa & Co. Authorized Signatory



Rs. 24478 Date 21-1-2013

Amount (Rs.) 100

For Sobha Developers Limited

CHERIVANNUR STAMP VENDOR  
A.P.F. MOHAMMED

Bellandur post  
Bangalore 560103  
Rep. by Mr. P. Ramakrishnan



- 8. R.S No. : 159
- 9. R.S Sub.D. No. : 2B (Part)
- 10. O.S/No. : 596
- 11. O.S/ Sub.D.No. : 1
- 12. Extent/Cents : 4.8564Ares
- 13. Extent In Hectare : 0.048564Hectare.
- 14. Right, Classification : Jenmani
- 15. Thandaperu No. of Vendor : Nil
- 16. Thandaperu No. of Purchasers : Nil
- 17. Description

Property described as Kodakkadan Kandy Paramba, having an extent of 12 Cents situated in Nallur desom of Feroke Village comprised in Resurvey No. 159/2B and acquired as per the document No. 2707 of 1983 of the SRO Feroke and specifically shown in the plan attached herewith.

18. Boundaries

- East : Property owned by Veerabhadrapa Sangappa and Company.
- North : Remaining property of the Vendor.
- West : Remaining property of the Vendor.
- South : Pathway

IN WITNESS WHEREAS THE PARTIES ABOVENAMED HAVE SIGNED AND EXECUTED THIS AGREEMENT ON THE DAY MONTH AND YEAR FIRST ABOVE WRITTEN IN THE PRESENCE OF THE WITNESSES ATTESTING HEREUNDER.

WITNESSES:

1) *U.G. Cinetha*  
(U.G. CINETHA)  
SOBHA DEVELOPERS LTD,  
BANGALORE

*U - G*  
1. (Mr. Gautam U Namblsan),  
For Veerabhadrapa Sangappa & Co.,

*[Signature]*  
Authorized Signatory

2) *Charesh*  
(CHARESH)  
SSTP, Wikefield  
beguru - G4

2. (M/s. Veerabhadrapa Sangappa and Company)

Owners

For Sobha Developers Ltd,  
For SOBHA DEVELOPERS LTD,

*[Signature]*  
Authorized Signatory

(Mr. P. Ramakrishnan),  
Authorized Signatory  
Developer,



**ATTESTED**  
*[Signature]*  
**C. MUNISWAMY B. Com. L.L.B**  
ADVOCATE & NOTARY PUBLIC  
GOVERNMENT OF INDIA  
# 411, 1st Floor, 4th B Main, 2nd Block,  
HRBR Layout, Kalyana Nagar,  
Bangalore - 560 043 Mob: 9448324527

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635

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**Annexure No. 2**

**CADASTRAL MAP**

- There is no re-survey map for the area available with the Revenue Department.
- The original copy of Litho map obtained from the Revenue Department was already submitted along with our application submitted on 31-05-2014.
- The copy of the Litho map is attached at Annexure No. 2A.

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**Annexure No. 3****DETAILS REGARDING PROVISIONS OF MECHANICAL VENTILATION & FOR SUPPORTING THE STRUCTURES OF BASEMENT FLOORS.**

- We are providing the demand controlled mechanical ventilation system for car parking area. Details of the same along with the plan is enclosed at Annexure No. 3 (A).
- Pile shoring wall is proposed as supporting structures for basement floors. Design details for the same is enclosed at Annexure No. 3 (B).
- We have obtained layout approval from Town Planning Department, Govt. of Kerala on 10-04-2015. The copy of the said approval is enclosed as Annexure No. 3 (C).

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ANNEXURE No. 3

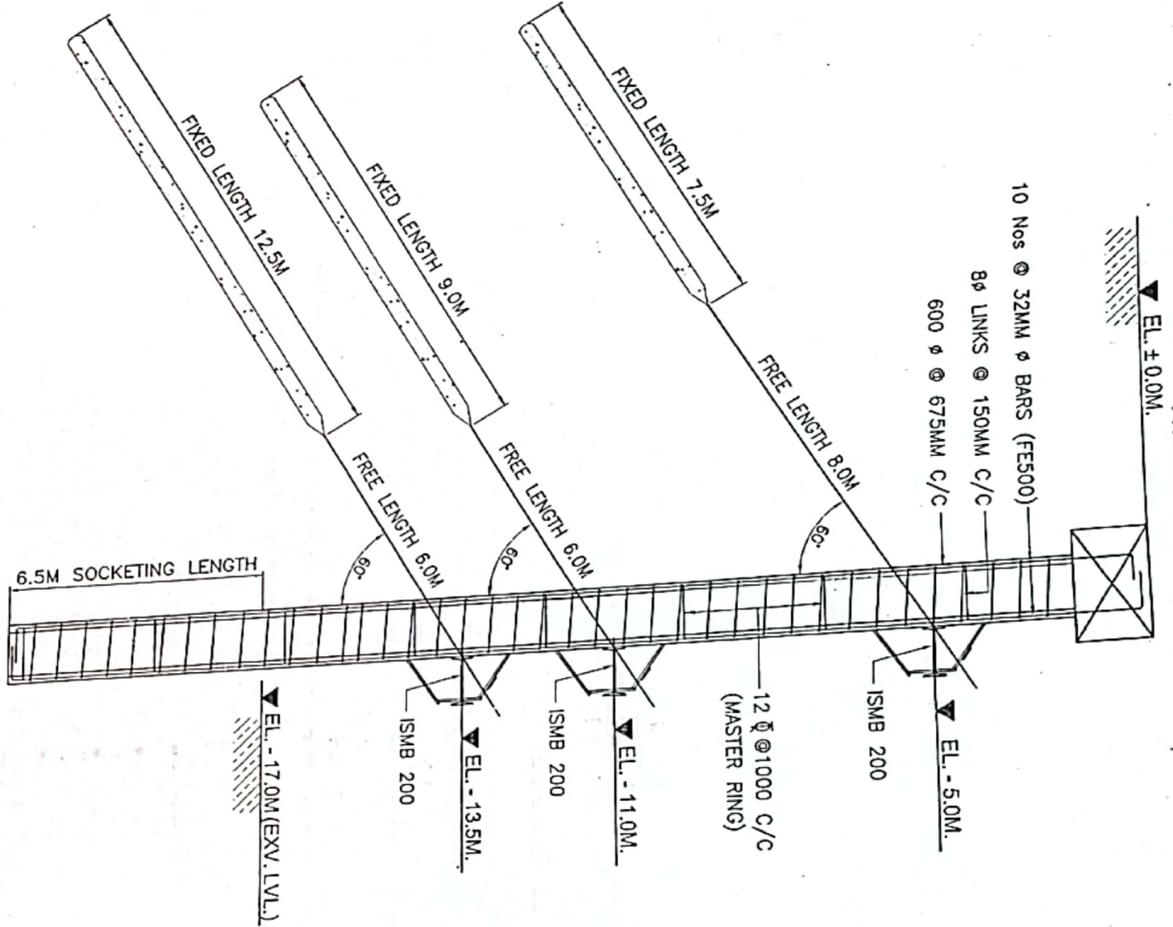
PROJECT: SOBHA RIO VISTA Date: 11/09/14

**DEMAND CONTROLLED MECHANICAL VENTILATION SYSTEM FOR CAR PARKS**

Sl. No.	Description	Car Park Area In (Sq.ft)	Approx. Basement Ht. In mtrs	Fan Qty (Nos)	Air Volume In Normal Mode @ 8ACPH	Each Fan Volume In Normal Mode, Cfm	Each Fan Power Consumption in Normal Mode, In Kw (2)	Total Power Requirement in Normal Mode (kW) (3=1*2)	Air Volume In Emergency Mode @ 30ACPH (4)	opening required, In Sq.m	Each Fan Volume, Cfm (5=4/6)	Fan Qty (Nos.) (6)	Fan Power Consumption in Emergency Mode, In Kw (7)	Total Power Requirement in Emergency Mode (kW) (8=7*6*3)
<b>AXIAL EXHAUST FANS</b>														
1	BASEMENT-Q1	28393	3	1	37252	37252	7.5	7.5	139696	17	51222	2	11.0	29.5
2	BASEMENT-Q2	28393	3	1	37252	37252	7.5	7.5	139696	17	51222	2	11.0	29.5
3	BASEMENT-Q3	29236	3	1	38358	38358	7.5	7.5	143841	18	52742	2	11.0	29.5
<b>AXIAL FRESH AIR FANS</b>														
1	BASEMENT-Q1	29236	3	1	38358	38358	7.5	7.5						7.5
<b>Jet vent fans</b>														
1	BASEMENT-Q1	29236	3	4			0.24	1					1.5	6
2	BASEMENT-Q2	28393	3	4			0.24	1					1.5	6
3	BASEMENT-Q3	29236	3	4			0.24	1					1.5	6
<b>A. Total Power Requirement For Normal Mode Operation, In Kw</b>														
<b>33</b>														
<b>B. Total Power Requirement For Fire Mode Operation, In Kw</b>														
<b>114.0</b>														
<b>Notes:</b>														
1) Natural Ventilation is considered for Basement-Q1 and Basement-Q2 Fresh Air Requirement.														
2) The above details are based on the architecture drawings.														
3) We are Providing Demand Controlled ventilation to save the Energy Cost.														
4) Co Sensors shall be used as per CFD Analysis														
Prepared By _____														
Checked & Approved By _____														
Iqbal kumar, N Asst. Manager - HVAC														
Shashi Kumar, B SVP-MSR (Real Estate)														







PILE SHORING WALL DESIGN  
 AT SARO, FEROKE, KOZHIKODE  
 SHOBHA DEVELOPERS

PRODUCED BY AN AUTODESK EDUCATIONAL PRODUCT

REV.	DATE
-	00.00.2014

- ANCHOR DETAILS (AT -5.0M)**
- 1) ANCHOR CAPACITY = 21 TONS
  - 2) ANCHOR SPACING = 0.675M
  - 3) ANCHOR DIAMETER = 150MM
  - 4) ANCHOR FREE LENGTH = 8.0M
  - 5) ANCHOR FIXED LENGTH = 7.5M
  - 6) ANCHOR REINFORCEMENT = 3 NOS OF 12.7MM φ HT STRANDS
  - 7) ANCHOR INCLINATION = 30° WITH HORIZONTAL
  - 8) ANCHOR LOCK OFF LOAD = 20 TONS

- ANCHOR DETAILS (AT -11.0M)**
- 1) ANCHOR CAPACITY = 25 TONS
  - 2) ANCHOR SPACING = 0.675M
  - 3) ANCHOR DIAMETER = 150MM
  - 4) ANCHOR FREE LENGTH = 6.0M
  - 5) ANCHOR FIXED LENGTH = 9.0M
  - 6) ANCHOR REINFORCEMENT = 3 NOS OF 12.7MM φ HT STRANDS
  - 7) ANCHOR INCLINATION = 30° WITH HORIZONTAL
  - 8) ANCHOR LOCK OFF LOAD = 25 TONS

- ANCHOR DETAILS (AT -13.5M)**
- 1) ANCHOR CAPACITY = 35 TONS
  - 2) ANCHOR SPACING = 0.675M
  - 3) ANCHOR DIAMETER = 150MM
  - 4) ANCHOR FREE LENGTH = 6.0M
  - 5) ANCHOR FIXED LENGTH = 12.5M
  - 6) ANCHOR REINFORCEMENT = 4 NOS OF 12.7MM φ HT STRANDS
  - 7) ANCHOR INCLINATION = 30° WITH HORIZONTAL
  - 8) ANCHOR LOCK OFF LOAD = 30 TONS

**SCHEDULE OF PILES**

PILE DIA	PILE SPACING	CONCRETE MIX	STEEL GRADE
600	675	M25	Fe 500

**REINFORCEMENT SCHEDULE**

MAIN STEEL	LINKS	MASTER RING
10 φ 32MM	8 φ @ 150 C/C	12 φ @ 1000 C/C

Scale	Date	Drawn By	Checked By	Approved By
N.T.S	03.09.14	PURVA	MOHAMMAD	JAYDEEP WAGH

**GEOCON**  
 FOUNDATION SOLUTIONS™

45 Cooro Lane Bldg-1st Flr, L. Road No.1  
 Madhav (N), Mumbai 400 115, India  
 Tel: +91 22 2444 8825.  
 Fax: +91 22 2444 5370  
 Email: gecon@broadnexus.com  
 Website: gecon@broadnexus.com



മുഖ്യനഗരാസൂത്രകന്റെ നടപടി  
തിരുവനന്തപുരം

വിഷയം- നഗര - ഗ്രാമാസൂത്രണ വകുപ്പ് - മുഖ്യ നഗരാസൂത്രകന്റെ കാര്യാലയം - തിരുവനന്തപുരം - കോഴിക്കോട് ജില്ല - ഫാറൂക്ക് ഗ്രാമപഞ്ചായത്ത് - ഫാറൂക്ക് വില്ലേജിൽ സർവ്വേ നമ്പർ 159/2B ൽ പ്പെട്ട സ്ഥലത്ത് റസിഡൻഷ്യൽ അപ്പാർട്ട്മെന്റ് നിർമ്മാണം - ലേ ഔട്ട് അംഗീകാരം നൽകി ഉത്തരവുവരുന്നു.

- സൂചന:- 1) ഫാറൂക്ക് ഗ്രാമപഞ്ചായത്ത് സെക്രട്ടറിയുടെ 17.06.13 ലെ എ4/1696/13, 07.10.14 ലെ A4/6442/14 നമ്പർ കത്ത്കൾ.
- 2) കോഴിക്കോട് നഗരാസൂത്രകന്റെ 24.10.14 - ലെ സി1 -1505/13 നമ്പർ കത്ത്.

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ഉത്തരവ് നമ്പർ ഡി1-10270/14/ഡി.ഡി.സ്. തീയതി 10.04.2015.

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കോഴിക്കോട് ജില്ലയിലെ ഫാറൂക്ക് ഗ്രാമപഞ്ചായത്തിന്റെ പരിധിയിൽപ്പെട്ട ഫാറൂക്ക് വില്ലേജിൽ സർവ്വേ നമ്പർ 159/2B ൽ പ്പെട്ട സ്ഥലത്ത് റസിഡൻഷ്യൽ അപ്പാർട്ട്മെന്റ് നിർമ്മാണത്തിന് താഴെപ്പറയുന്ന നിബന്ധനകൾക്കനുസൃതമായി കെട്ടിടങ്ങളുടെ ലേ - ഔട്ടിനും സ്ഥലത്തിന്റെ ഉപയോഗത്തിനും അംഗീകാരം നൽകി ഉത്തരവുവരുന്നു.

- 1) കെ.പി.ബി.ആർ. 2011/കെ.എം.ബി.ആർ. 1999 -ലെ ചട്ടം 11 (1) പ്രകാരം സ്ഥലത്തിന്റെ ഉടമസ്ഥത സംബന്ധിച്ച രേഖകൾ, സർവ്വേ നമ്പർ, വിസ്തൃതി, അതിരുകൾ, വിസ്തീർണ്ണം, അളവുകൾ, ഉടമസ്ഥാവകാശം, നിർമ്മാണാവകാശം എന്നിവ സെക്രട്ടറി പരിശോധിച്ച് ഉറപ്പുവരുത്തേണ്ടതാണ്.
- 2) നിർദ്ദിഷ്ട നിർമ്മാണം കെ.പി.ബി.ആർ. 2011-നും, കെ.എം.ബി.ആർ. 1999-നും അനുബന്ധ ഭേദഗതികൾക്കും, ബാധകമായ മറ്റ് നിയമങ്ങൾക്കും അനുസൃതമായിരിക്കണം.
- 3) കെട്ടിടത്തിന്റെ ഉയരം റോഡ് നിരപ്പിൽ നിന്നും കണക്കാക്കി കെ.പി.ബി.ആർ. 11 ലെ സെറ്റ്ബാക്ക് ചട്ടങ്ങൾ പാലിക്കുന്ന വിധത്തിൽ പരിമിതപ്പെടുത്തേണ്ടതാണ്. അപ്രകാരം പരിഷ്കരിച്ച പ്ലാനുകൾ പഞ്ചായത്തിൽ സമർപ്പിച്ച് അംഗീകാരം വാങ്ങേണ്ടതാണ്.
- 4) KCZMA യുടെ അംഗീകാരം വാങ്ങേണ്ടതും KCZMA യുടെ നിബന്ധനകളും കെ.പി.ബി.ആർ. ചട്ടങ്ങളും concurrent ആയി പാലിക്കണം.
- 5) SEIAA യുടെ അനുമതി ആവശ്യമെങ്കിൽ വാങ്ങേണ്ടതാണ്.
- 6) കെ.പി.ബി.ആർ. ചട്ടം 55(4) പ്രകാരം അഗ്നിശമന വകുപ്പിന്റെ അനുമതി വാങ്ങേണ്ടതും ചട്ടം 55 (5) പ്രകാരമുള്ള അഗ്നി സുരക്ഷാ ക്രമീകരണങ്ങൾ എൽപ്പെടുത്തേണ്ടതുമാണ്.
- 7) Safety Provisions for high rise buildings ന്നായി കെ.പി.ബി.ആർ. അദ്ധ്യായം XIX ൽ പ്രതിപാദിച്ചിരിക്കുന്ന ചട്ടങ്ങളെല്ലാം നിർബന്ധമായും പാലിച്ചിരിക്കണം.

0202931

- 8) കെ.പി.ബി.ആർ അദ്ധ്യായം XVI പ്രകാരമാവശ്യമായ rain water harvesting സൗകര്യങ്ങൾ, നിർബന്ധമായും നൽകേണ്ടതാണ്. അദ്ധ്യായം XVIII പ്രകാരമുള്ള solar assisted water heating Lighting System നൽകിയിരിക്കണം.
- 9) കെ.പി.ബി.ആർ ചട്ടം 51 ചട്ടങ്ങൾക്കനുസരിച്ചു പ്രകാരമുള്ള ലിഫ്റ്റ് നൽകേണ്ടതാണ്.
- 10) State Archeological Departmentsന്റെ നിയന്ത്രണ സ്ഥലത്തിനുള്ളിൽ പ്ലാട്ടുനീളം ഉറപ്പു വരുത്തേണ്ടതാണ്. നിർമ്മാണം ഉള്ള പകുപ്പം എൻ.ഓ.സി വാങ്ങേണ്ടതാണ്.

അംഗീകരിച്ച സെറ്റ് പ്ലാൻ നമ്പർ 131/15 ഇതോടൊപ്പം ഉള്ളടക്കം ചെമ്മൂന്നു.



മുഖ്യനഗരസൂത്രകൻ്റെ ഉത്തരവിൻ പ്രകാരം

  
 വി.അനിൽകുമാർ  
 സീനിയർ നഗരസൂത്രകൻ

സെക്രട്ടറി, ഫാറൂക്ക് ഗ്രാമപഞ്ചായത്ത്, കോഴിക്കോട് (പ്ലാൻ 1 സെറ്റ് സഹിതം)

- പകർപ്പ്-1) ടൗൺ പ്ലാൻ, കോഴിക്കോട്.
- ✓ 2) അനിൽ ഗോപാലൻ, ശ്രോമ ലിമിറ്റഡ്, കോഴിക്കോട്.
- 3) വെബ്സൈറ്റ്, 4) കരുതൻ ഫയൽ, 5) അധികം.

N.15.04.15

**Annexure No. 4.****DETAILS REGARDING THE QUANTITY OF REMOVAL OF ORDINARY EARTH AND ITS UTILIZATION.**

- The total quantity of the earth excavated for foundation of structures and for basement will be 78,905.37 cu.m.
- The excavated top soil of 25,862.36 cu.m. will be used for landscaping and backfilling purposes.
- The excess excavated earth of 53,043.01 cu.m. will be utilized for internal road construction purposes and for filling low lying areas within the project site.

\*\*\*\*\*

**Annexure No. 5.**

**DETAILS ON THE PROVISIONS MADE FOR ULTRA  
FILTRATION AND ADDITIONAL AERATION OF TREATED  
SEWAGE WATER.**

- Layout plan of the 170 KLD capacity Sewage Treatment Plant proposed for the project with the provision made for Ultrafiltration is enclosed as **Annexure No. 5A.**
- Additional aeration facility will be provided in the Clarified water tank and the Treated water tank.

\*\*\*\*\*



93 ANNEXURE No. 6  
KERALA COASTAL ZONE MANAGEMENT AUTHORITY

No: 4270/A 1/14/KCZMA/S&TD.

Science & Technology (A) Dept.  
Sasthra Bhavan, Pattom,  
Thiruvananthapuram-4, Dated: 16.02.2016

From  
The Member Secretary, KCZMA.

To  
The Secretary,  
Feroke Grama Panchayath,  
Kozhikode.

Sir,

Sub: - Science and Technology Department - KCZMA - Construction of Residential Apartment- Application of Sri. Anilkumar Gopalan, Aria head, Calicut region M/S Sobha Ltd.

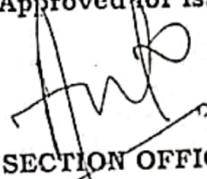
Ref:- 1) Your letter No. Sobha Rio vista 06/15-16 dt: 26.06.2015

Inviting your attention to the reference cited I am to inform that as per the provision of CRZ notification, the CRZ is limited to 100m from the HTL of river or to a distance equal to the width of the river whichever is less. As per the proposal submitted by you the construction in question is 100 m from the HTL of river. Hence the area is in Sy.No:159/2B (p) of Feroke village Calicut register is outside CRZ limits and hence prior approval from KCZMA is not required in this area. The Grama Panchayath can issue permit by themselves.

Yours faithfully,

Dr. GEORGE VARGHESE,  
Member Secretary, KCZMA

Approved for issue,

  
SECTION OFFICER.

Copy to:-

- 1) Sri. Anilkumar Gopalan ,Aria head, Calicut region M/S Sobha Ltd.  
(for information)
- 2) Member Secretary, KSCSTE - vide lr.2341/ENV/15/CZMA dt.26.11.2015.
- 3) SF/OC.

## ANNEXURE No 7

**DETAILED PLAN ON THE PROPOSED FIRE FIGHTING SERVICES FOR SOBHA RIO VISTA  
PROJECT @ CALICAUT, KERALA**

Sl. No	Description of the firefighting services	Requirement as per NBC 2005	Proposal for Riovista project
1	Fire reserve U.G sump	100cum/ riser	Shall be Provided as per NBC 2005 requirement
2	Firefighting pumps	2280 LPM main / diesel pump and 180 LPM jockey pump to be provided	Shall be Provided as per NBC 2005 requirement
3	Automatic Fire sprinkler system	Sprinkler system to be provided for basement and upper floors	Shall be Provided as per NBC 2005 requirement
4	Fire hydrant system	Hydrant / hose reel point to be provided in common area at every floor for both the wings.	Shall be Provided as per NBC 2005 requirement
5	Automatic Fire detection system	Automatic fire detection and alarm system to be provided for entire building.	Shall be Provided as per NBC 2005 requirement
6	Fire public system	Two way communication system to be provided in common area at every floor for both the wings.	Shall be Provided as per NBC 2005 requirement
7	Fire extinguishers	Portable Fire Extinguishers to be provided in common area at every floor for both the wings.	Shall be Provided as per NBC 2005 requirement
8	Fire signages	Fire signages to be provided in common area at every floor for both the wings.	Shall be Provided as per NBC 2005 requirement

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### 5. 371/SEIAA/KL/2611/2014 of Sobha developers- Feroke Village

Field visit to the site was carried out on 11.10.2014 by Dr.P.S.Harikumar and Sri. John Mathai . The representatives of the proponent were present during the site inspection. The site is located on the southern side of the road leading from Ramanattukara side of bridge over Chaliyar to Feroke. ( $11^{\circ} 10' 51''$  N,  $75^{\circ} 50' 09''$  E).

The land proposed to be developed is a laterite covered moderately sloping land with slope towards north ie to the Chaliyar river. Coconut and mixed trees form the dominant landuse. The water table



in the plot varies from about 8 m bgl in the upper crestal portion to about 5 m bgl in the lower flanks.

On the main riverside adjacent to the road healthy stands of mangroves were noted ( *photograph on the left*) which means that part of the project site falls in CRZ. Hence statutory clearance from KCZMA is warranted. The proposed footprint of the main building, location of RWH and STP, layout of the road, parking facilities etc were shown to the SEAC members.

Considering the location and other aspects following points may be considered:-

1. On the southern side near to the elevated part a cutting of about 12 m is proposed to facilitate vehicle parking in the different levels of basement. On analysing the bore logs it is seen that soft water saturated clayey strata with low N values is seen at depth. This need to be supported mechanically so as to prevent slope failures and a safe design must be provided. A safe buffer distance must be provided from the boundary.
2. The quantity earth to be removed and transported out of the site must be provided.
3. Dependable yield of wells must be provided. Bore wells are not advised in the area due to presence of saline water bodies in the vicinity.
4. Ventillation with mechanical exhaust system must be provided in the vehicle parking area
5. Internal width of drive way to be at least 7 m with at least 3 m distance between drive way and proposed building. The gradient of the drive way must facilitate smooth movement of vehicles especially fire fighting equipments.
6. A barrier to be provided to a depth of at least 4 m from ground level by the side of RWH facility to isolate it from STP/fuelling station on the eastern side. Considering the fresh water scarcity the RWH must have a capacity to store at least one month fresh water need of the project.
- 7.



**The Chairman**  
 State Environment Impact Assessment Authority (SEIAA)  
 Pallimukku, Pettah P.O.,  
 Thiruvananthapuram, Kerala – 695 024

22-04-2016

Ref. : - File No. 371/SEIAA/KL/2611/2014

**Sub.:- Environmental Clearance – Proposed Housing Project "Sobha Rio Vista" in Sy. Nos. 159/28B (p) at Calicut, Feroke Petta (Chandhakadavu), Feroke Village and Panchayath, Kozhikode Taluk, Kozhikode District, Kerala – Clarifications – Reg.**

Respected Sir,

With reference to the above mentioned subject, mentioned below is the point wise reply to the queries raised in the minutes of the 36<sup>th</sup> meeting of State Level Expert Appraisal Committee (SEAC) Kerala, held on .31<sup>st</sup> October 2014.

**Q. 1. Safe design for mechanical support to prevent slope failure must be provided.**

**Ans.** The details are provided at *Annexure No.1*.

**Q. 2. The quantity of earth to be removed and transported out of the site must be provided.**

**Ans.** The details are provided at *Annexure No. 2*

**Q. 3. Dependable yield of wells must be provided. Bore wells are not advised in the area due to presence of saline water bodies to the vicinity.**

**Ans.** The dependable yield of the existing open well of 3.3 m diameter is 10 KL / day ( based on the yield study carried out through M/s AGES, Trivandrum. We are intending to construct 6 open wells of diameter 6m. and is expected to have a dependable yield of about 100 KL/ Day and which is the daily fresh water consumption for the project. The bore wells will not be constructed within the site.

**Q. 4. Ventilation with mechanical exhaust system must be provided in the Vehicle parking area.**

**Ans.** The ventilation with mechanical exhaust system for the basement is provided at *Annexure No. 3*

**SOBHA LIMITED** (formerly SOBHA DEVELOPERS LTD.)

1ST & 2ND FLOOR, EMPORA GEMZ, 2275/D2, 2275/D3, NH BY PASS ROAD, NEAR THONDAYAD JUNCTION, NELLIKODE POST, KOZHIKODE - 673016. TEL: +91 -0495 2359368-365

REGD & CORPORATE OFFICE : 'SOBHA', SARJAPUR - MARATHAHALLI OUTER RING ROAD (ORR), DEVARAHANAHALLI, BELLANDUR POST BANGALORE - 560103, INDIA | CIN: L45201KA1995PLC018475 | TEL : +91-80-49320000 | FAX : +9180-49320444 | www.sobha.com





SOBHA

PASSION AT WORK

**Q. 5. Maintain the internal width of drive way to be at least 7 m with at least 3 m distance between drive way and proposed building. The gradient of the drive way must facilitate smooth movement of vehicles especially fire fighting equipments.**

**Ans.** The internal width of drive way is 7.2 meter which is as per KPBR. The gradient of the drive way is 1:12.5.

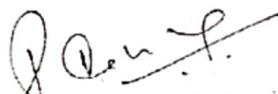
**Q. 6. A barrier to be provided to a depth of at least 4m from ground level by the side of RWH facility to isolate it from STP / fueling station on the eastern side. Considering the fresh water scarcity the RWH must have a capacity to store at least one month fresh water need of the project.**

**Ans.** A barrier will be constructed to isolate the RWH facility from STP / Fueling station. The capacity of RWH system proposed is for 3,000 KL. The total fresh water requirement for the residential project is 100KL. Therefore, the storage tank proposed for RWH can accommodate the rain water for 30 days and which will meet the fresh water requirement for a month.

In view of the submission to the queries raised by the SEAC, we humbly request you to accord Environmental Clearance to our project at the earliest.

Thanking you,  
Yours respectfully,

For Sobha Developers Ltd.

 RAMAKRISHNAN PRAPBAKARAN.

**Ramakrishnan Prapbakaran**  
(Authorized Signatory)

Encl: As above

**SOBHA LIMITED** (formerly SOBHA DEVELOPERS LTD.)

1ST & 2ND FLOOR, EMPORA GEMZ, 2275/D2, 2275/D3, NH BY PASS ROAD, NEAR THONDAYAD JUNCTION, NELLIKODE POST,  
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BANGALORE - 560103, INDIA | CIN. L45201KA1995PLC018475 | TEL: +91-80-49320000 | FAX: +9180 49320444 | www.sobha.com



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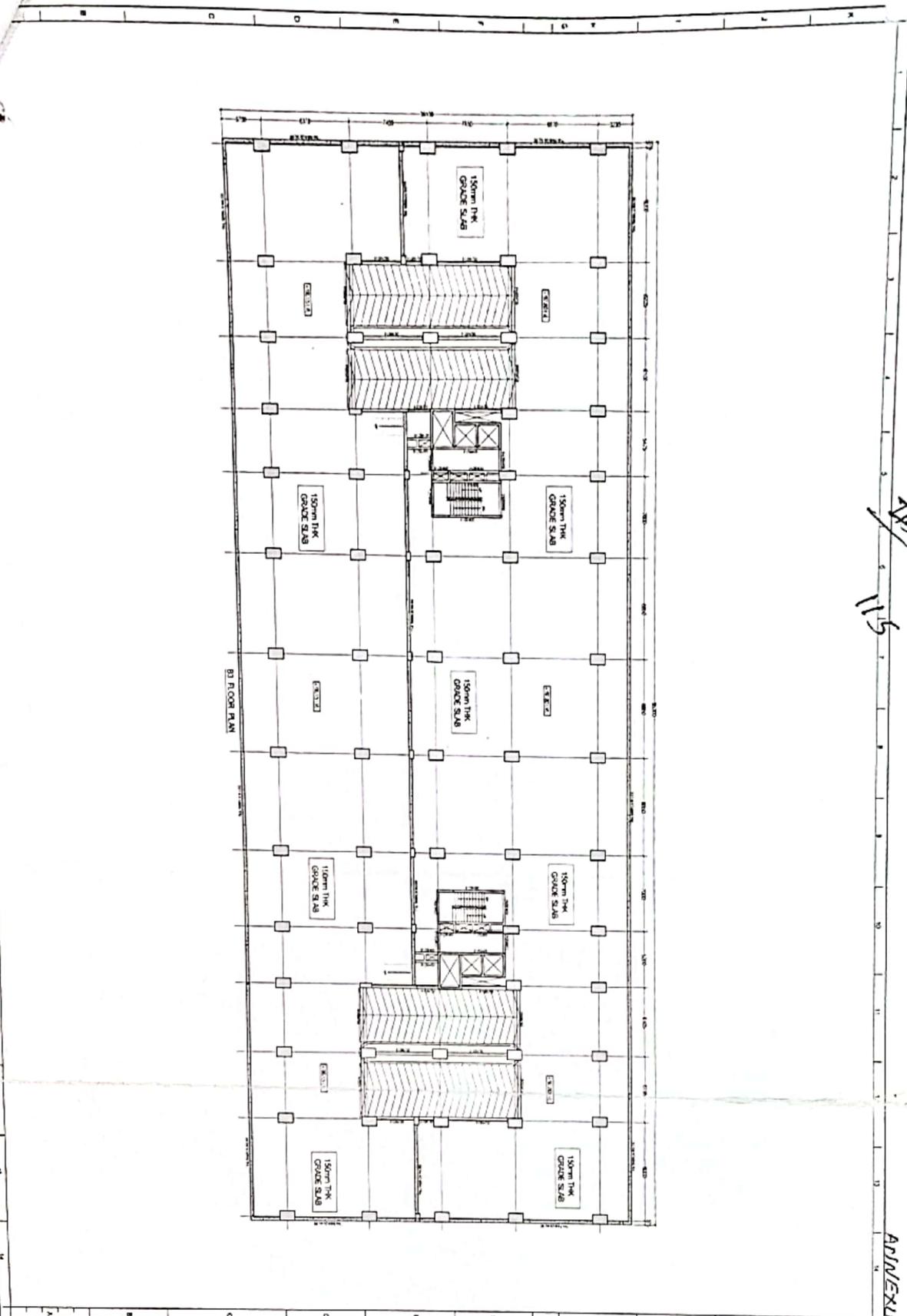
Annexure No. 1

**DETAILS REGARDING SAFE DESIGN FOR MECHANICAL  
SUPPORT TO PREVENT SLOPE FAILURE**

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- Pile shoring walls are proposed for basement floors to prevent slope failure. The schematic diagram of the design details of pile shoring wall is enclosed at Annexure No. 1A, 1B, 1C & 1D respectively.

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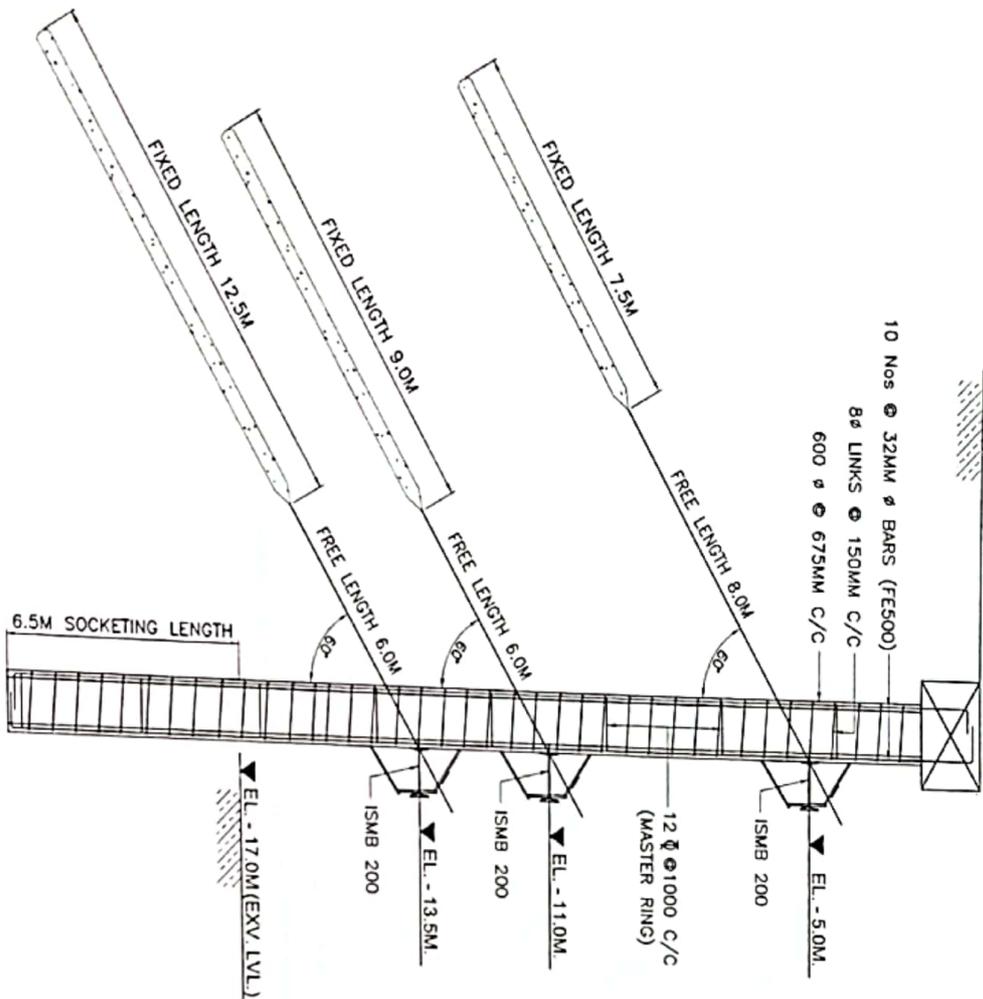
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17/18

APPENDIX NO: 1A

<p>GENERAL INFORMATION</p> <p>PROJECT NAME: <b>SCORPIA BHO VISTA</b></p> <p>CLIENT: <b>SCORPIA BHO VISTA</b></p> <p>LOCATION: <b>SCORPIA BHO VISTA</b></p> <p>DATE: <b>15/08/2023</b></p> <p>SCALE: <b>AS SHOWN</b></p> <p>PROJECT NO: <b>SCORPIA BHO VISTA</b></p> <p>DESIGN NO: <b>SCORPIA BHO VISTA</b></p> <p>CONTRACT NO: <b>SCORPIA BHO VISTA</b></p>		<p>DESIGNER: <b>SCORPIA BHO VISTA</b></p> <p>DATE: <b>15/08/2023</b></p> <p>SCALE: <b>AS SHOWN</b></p> <p>PROJECT NO: <b>SCORPIA BHO VISTA</b></p> <p>DESIGN NO: <b>SCORPIA BHO VISTA</b></p> <p>CONTRACT NO: <b>SCORPIA BHO VISTA</b></p>													
<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		NO.	DESCRIPTION	DATE										<p>APPROVED BY: <b>SCORPIA BHO VISTA</b></p> <p>DATE: <b>15/08/2023</b></p> <p>SCALE: <b>AS SHOWN</b></p> <p>PROJECT NO: <b>SCORPIA BHO VISTA</b></p> <p>DESIGN NO: <b>SCORPIA BHO VISTA</b></p> <p>CONTRACT NO: <b>SCORPIA BHO VISTA</b></p>	
NO.	DESCRIPTION	DATE													



PILE SHORING WALL DESIGN  
AT SARO, FEROKE, KOZHIKODE  
SHOBHA DEVELOPERS



PRODUCED BY AN AUTODESK EDUCATIONAL PRODUCT

ANNEXURE NO. 1 D

ANNEXURE NO. 1 C

- ANCHOR DETAILS (AT -5.0M)
- 1) ANCHOR CAPACITY = 21 TONS
  - 2) ANCHOR SPACING = 0.675M
  - 3) ANCHOR DIAMETER = 150MM
  - 4) ANCHOR FREE LENGTH = 8.0M
  - 5) ANCHOR FIXED LENGTH = 7.5M
  - 6) ANCHOR REINFORCEMENT = 3 NOS OF 12.7MM  $\phi$  HT STRANDS
  - 7) ANCHOR INCLINATION = 30° WITH HORIZONTAL
  - 8) ANCHOR LOCK OFF LOAD = 20 TONS

- ANCHOR DETAILS (AT -11.0M)
- 1) ANCHOR CAPACITY = 25 TONS
  - 2) ANCHOR SPACING = 0.675M
  - 3) ANCHOR DIAMETER = 150MM
  - 4) ANCHOR FREE LENGTH = 6.0M
  - 5) ANCHOR FIXED LENGTH = 9.0M
  - 6) ANCHOR REINFORCEMENT = 3 NOS OF 12.7MM  $\phi$  HT STRANDS
  - 7) ANCHOR INCLINATION = 30° WITH HORIZONTAL
  - 8) ANCHOR LOCK OFF LOAD = 25 TONS

- ANCHOR DETAILS (AT -13.5M)
- 1) ANCHOR CAPACITY = 35 TONS
  - 2) ANCHOR SPACING = 0.675M
  - 3) ANCHOR DIAMETER = 150MM
  - 4) ANCHOR FREE LENGTH = 6.0M
  - 5) ANCHOR FIXED LENGTH = 12.5M
  - 6) ANCHOR REINFORCEMENT = 4 NOS OF 12.7MM  $\phi$  HT STRANDS
  - 7) ANCHOR INCLINATION = 30° WITH HORIZONTAL
  - 8) ANCHOR LOCK OFF LOAD = 30 TONS

SCHEDULE OF PILES

PILE DIA	PILE SPACING	CONCRETE MIX	STEEL GRADE
600	675	M25	Fe 500

REINFORCEMENT SCHEDULE

MAIN STEEL	LINKS	MASTER RING
10# $\phi$ 32MM	8# $\phi$ 150 C/C	12# $\phi$ 1000 C/C

Scale	Date	Drawn By	Checked By	Approved By
N.T.S.	03.09.14	PURVA	MOHAMMAD	JAYDEEP WAGH



GEOCON INTERNATIONAL PRIVATE LIMITED  
45 Canal Lung Bldg-1st Floor, L J Road No.1  
Mullin (N), Mambal 400 016, India  
Tel: +91 22 2444 8985  
Fax: +91 22 2444 5370  
Email: gecon@geconindia.com  
Website: geconinternational.com

REV. DATE

00.00.2014

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123

## Annexure No. 2.

**DETAILS REGARDING THE QUANTITY OF REMOVAL OF ORDINARY EARTH AND ITS UTILIZATION.**

- The total quantity of the earth excavated for foundation of structures and for basement will be 78,905.37 cu.m.
- The excavated top soil of 25,862.36 cu.m. will be used for landscaping and backfilling purposes.
- The excess excavated earth of 53,043.01 cu.m. will be utilized for internal road construction purposes and for filling low lying areas within the project site.

\*\*\*\*\*

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**Annexure No. 3**

**DETAILS REGARDING PROVISIONS OF MECHANICAL VENTILATION & FOR SUPPORTING THE STRUCTURES OF BASEMENT FLOORS.**

- We are providing the demand controlled mechanical ventilation system for car parking area. Details of the same along with the plan is enclosed at Annexure No. 3 (A).
- Pile shoring wall is proposed as supporting structures for basement floors. Design details for the same is enclosed at Annexure No. 3 (B).
- We have obtained layout approval from Town Planning Department, Govt. of Kerala on 10-04-2015. The copy of the said approval is enclosed as Annexure No. 3 (C).

\*\*\*\*\*

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12/1

PROJECT: SOBHA HUD KSTC

Date: 11.09.14

DEMAND CONTROLLED MECHANICAL VENTILATION SYSTEM FOR CAR PARKS

A. NORMAL MODE														
S. No.	Description	Car Park Area In Sq.M.	Access Points	Fan Qty (Nos)	Air Volume in Normal Mode @ 50CM/sec	Each Fan Volume in Normal Mode	Each Fan Power Consumption in Normal Mode, in Kw (2)	Total Power Requirement in Normal Mode (KW) (3+4+5)	Air Volume In Emergency Mode @ 50CM/sec (4)	opening required in Sq.m	Each Fan Volume in (5+4/5)	Fan Qty (Nos) (6)	Fan Power Consumption in Emergency Mode, in Kw (7)	Total Power Requirement in Emergency Mode (KW) (8+7+6+3)
Axial Exhaust Fans														
1	BASEMENT G1	2830	1	1	3752	3752	7.5	7.5	13965	17	51222	2	11.0	29.5
2	BASEMENT G2	2830	1	1	3752	3752	7.5	7.5	13965	17	51222	2	11.0	29.5
3	BASEMENT G3	2830	1	1	3752	3752	7.5	7.5	14084	18	52742	2	11.0	29.5
Axial Fresh Air Fans														
1	BASEMENT G3	2830	1	1	3838	3838	7.5	7.5						7.5
Net vent Fans														
1	BASEMENT G2	2830	3	4			0.24	1					1.5	6
2	BASEMENT G2	2830	3	4			0.24	1					1.5	6
3	BASEMENT G3	2830	3	4			0.24	1					1.5	6
Total Power Requirement For Fire Mode Operation, in Kw														
1144.0														

- Note:
- 1) Normal Ventilation is considered for Basement G1 and Basement G2 fresh Air Requirement.
  - 2) The above details are based on the architectural drawings.
  - 3) We are providing Demand controlled ventilation to save the Energy Cost.
  - 4) Car Sensors shall be located at 2m per CIP Axis.

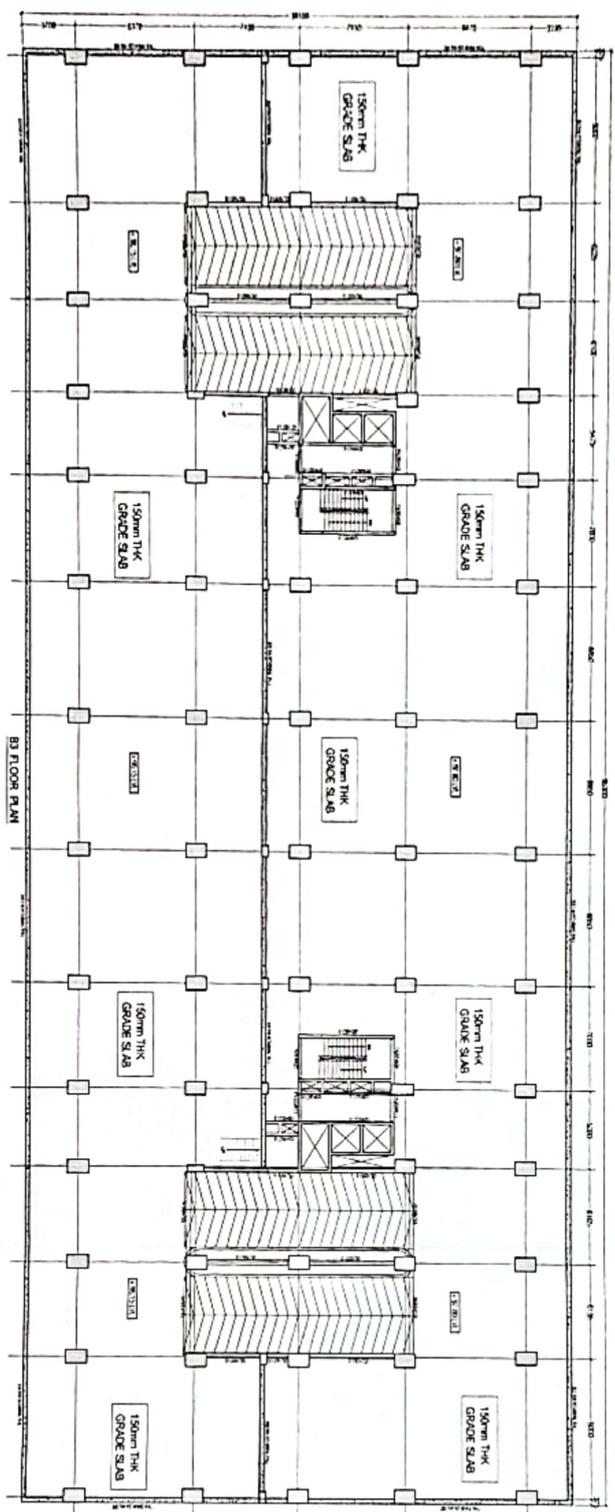
Checked & Approved By

Ekan Kumar, N  
Asst. Manager - HVAC

Shashi Kumar, B  
SVP-HSE (Real Estate)

499/1591

ANNEXURE NO-3 B



8th FLOOR PLAN

PROJECT TITLE		SOPHIA ROY VISTA	
CLIENT		SOPHIA ROY VISTA	
DATE		15/05/2024	
DRAWN BY		[Name]	
CHECKED BY		[Name]	
SCALE		AS SHOWN	
SHEET NO.		11	
TOTAL SHEETS		11	



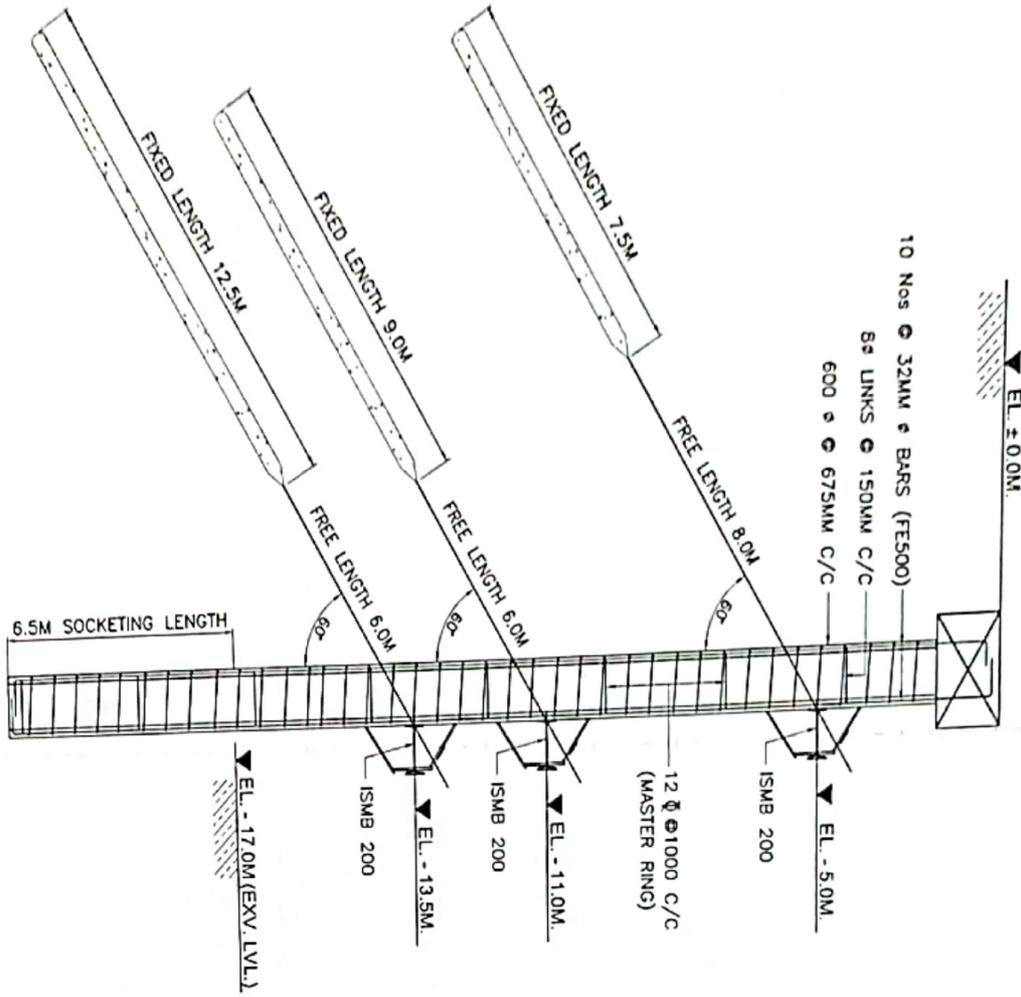
**SOPHIA UNITED**  
 ARCHITECTS  
 15/15, 15/15, 15/15  
 15/15, 15/15, 15/15  
 15/15, 15/15, 15/15

**BASEMENT 3'S FRAMING PLAN**

PROJECT TITLE  
 CLIENT  
 DATE  
 DRAWN BY  
 CHECKED BY  
 SCALE  
 SHEET NO.  
 TOTAL SHEETS



PILE SHORING WALL DESIGN  
 AT SARO, FERROKE, KOZHIKODE  
 JOBHA DEVELOPERS



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ANCHOR DETAILS (AT -5.0M)

- 1) ANCHOR CAPACITY = 21 TONS
- 2) ANCHOR SPACING = 0.675M
- 3) ANCHOR DIAMETER = 150MM
- 4) ANCHOR FREE LENGTH = 8.0M
- 5) ANCHOR FIXED LENGTH = 7.5M
- 6) ANCHOR REINFORCEMENT = 3 NOS OF 12.7MM  $\phi$  HT STRANDS
- 7) ANCHOR INCLINATION = 30° WITH HORIZONTAL
- 8) ANCHOR LOCK OFF LOAD = 20 TONS

ANCHOR DETAILS (AT -11.0M)

- 1) ANCHOR CAPACITY = 25 TONS
- 2) ANCHOR SPACING = 0.675M
- 3) ANCHOR DIAMETER = 150MM
- 4) ANCHOR FREE LENGTH = 6.0M
- 5) ANCHOR FIXED LENGTH = 9.0M
- 6) ANCHOR REINFORCEMENT = 3 NOS OF 12.7MM  $\phi$  HT STRANDS
- 7) ANCHOR INCLINATION = 30° WITH HORIZONTAL
- 8) ANCHOR LOCK OFF LOAD = 25 TONS

ANCHOR DETAILS (AT -13.5M)

- 1) ANCHOR CAPACITY = 35 TONS
- 2) ANCHOR SPACING = 0.675M
- 3) ANCHOR DIAMETER = 150MM
- 4) ANCHOR FREE LENGTH = 6.0M
- 5) ANCHOR FIXED LENGTH = 12.5M
- 6) ANCHOR REINFORCEMENT = 4 NOS OF 12.7MM  $\phi$  HT STRANDS
- 7) ANCHOR INCLINATION = 30° WITH HORIZONTAL
- 8) ANCHOR LOCK OFF LOAD = 30 TONS

SCHEDULE OF PILES

PILE DIA	PILE SPACING	CONCRETE MIX	STEEL GRADE
600	675	M25	Fe 500

REINFORCEMENT SCHEDULE

MAIN STEEL	LINKS	MASTER RING
10 $\phi$ 32MM	8 $\phi$ 150 C/C	12 $\phi$ 1000 C/C

Scale	Date	Drawn By	Checked By	Approved By
N.T.S	03.09.14	PURVA	MOHAMMAD	JAYDEEP WAGH



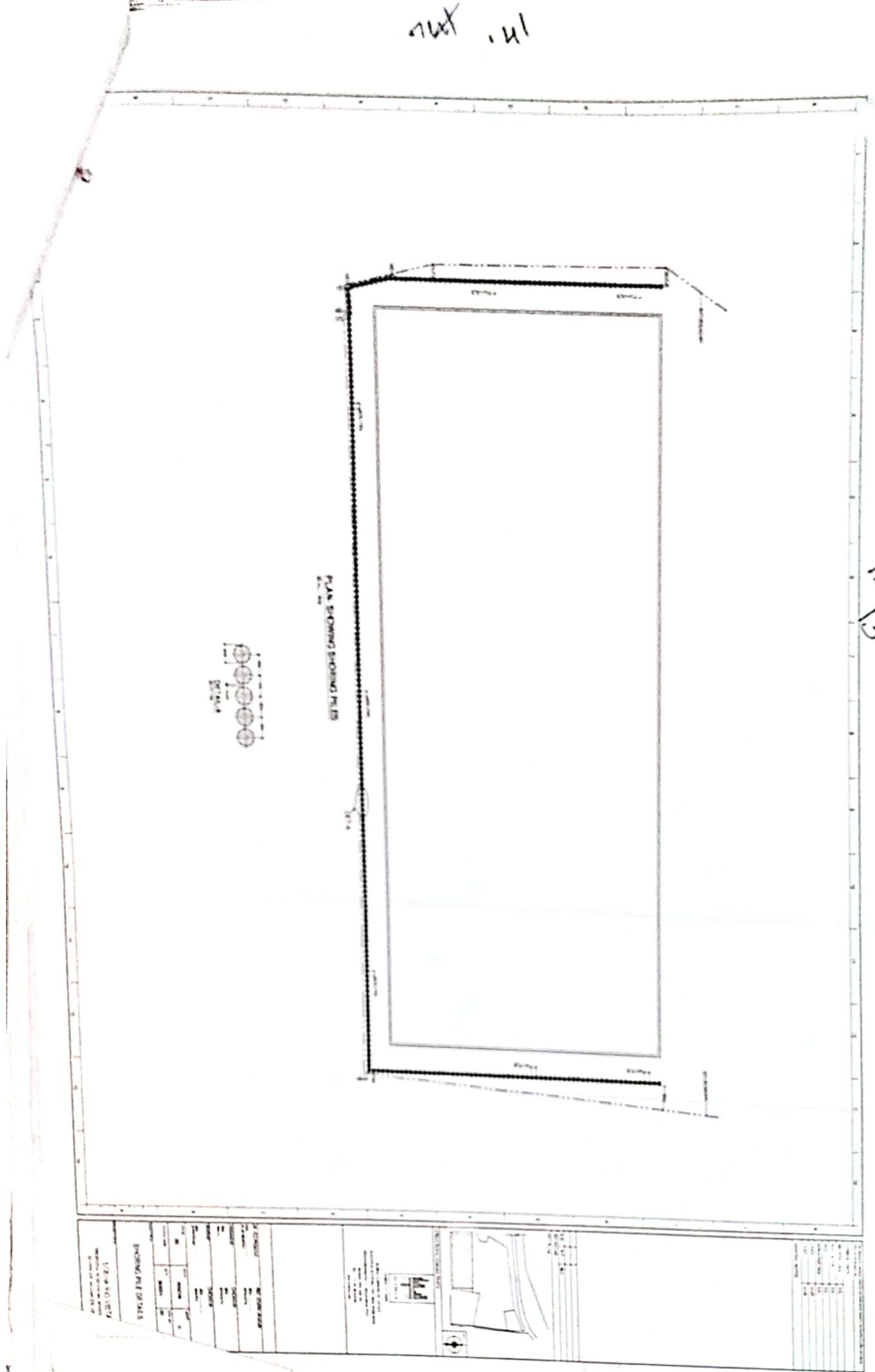
GEOCON INTERNATIONAL PRIVATE LIMITED  
 45 Coor Luro Road, 1st Floor, L J Road No.1  
 Madhav (N), Mumbai 400 014, India  
 Tel: +91 22 2444 8885  
 Fax: +91 22 2444 8370  
 Email: geoscon@rediffmail.com  
 Website: geosconinternational.com

REV	DATE
-	00.00.2014

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STAIRS

<p>PROJECT: [Blank]</p> <p>DATE: [Blank]</p> <p>SCALE: [Blank]</p>												
<p>DESIGNER: [Blank]</p> <p>CLIENT: [Blank]</p>												
<p>REVISIONS:</p> <table border="1"> <thead> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>				No.	Description	Date						
No.	Description	Date										

137/137

മുഖ്യനഗരാസൂത്രകന്റെ നടപടി  
തീരുവനന്തപത്രം

വിഷയം - നഗര - ഗ്രാമാസൂത്രണ വകുപ്പ് - മുഖ്യ നഗരാസൂത്രകന്റെ കാര്യമായും - തീരുവനന്തപത്രം - കോഴിക്കോട് ജില്ല - ഫാറൂക്ക് ഗ്രാമപഞ്ചായത്ത് - ഫാറൂക്ക് വില്ലേജിൽ സർവ്വേ നമ്പർ 159/2B യെ പറ്റി സ്ഥലത്ത് രസിഡൻഷ്യൽ അപ്പാർട്ട്മെന്റ് നിർമ്മാണം - ലേ ഔട്ട് അംഗീകാരം നൽകി ഉത്തരവുവകുപ്പ്.

- 1) ഫാറൂക്ക് ഗ്രാമപഞ്ചായത്ത് സെക്രട്ടറിയുടെ 17.06.13 ലെ എ4/1696/13, 07.10.14 ലെ A4/6442/14 നമ്പർ കത്തുകൾ
- 2) കോഴിക്കോട് നഗരാസൂത്രകന്റെ 24.10.14 - ലെ സി1 - 1505/13 നമ്പർ കത്ത്.

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ഉത്തരവ് നമ്പർ ഡി1-10270/14/ഡി.ഡി. തീയതി 10.04.2015.

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കോഴിക്കോട് ജില്ലയിലെ ഫാറൂക്ക് ഗ്രാമപഞ്ചായത്തിന്റെ പരിധിയിൽപ്പെട്ട ഫാറൂക്ക് വില്ലേജിൽ സർവ്വേ നമ്പർ 159/2B യെ പറ്റി സ്ഥലത്ത് രസിഡൻഷ്യൽ അപ്പാർട്ട്മെന്റ് നിർമ്മാണത്തിന് താഴെപ്പറയുന്ന നിബന്ധനകൾക്കനുസൃതമായി കെട്ടിടങ്ങളുടെ ലേ - ഔട്ടിനും സ്ഥലത്തിന്റെ ഉപയോഗത്തിനും അംഗീകാരം നൽകി ഉത്തരവുവകുപ്പ്.

- 1) കെ.പി.ബി.ആർ. 2011/കെ.എം.ബി.ആർ. 1999 -ലെ ചട്ടം 11 (1) പ്രകാരം സ്ഥലത്തിന്റെ ഉടമസ്ഥത സംബന്ധിച്ച രേഖകൾ, സർവ്വേ നമ്പർ, വിസ്തൃതി, അളവുകൾ, വിസ്തീർണ്ണം, അളവുകൾ, ഉടമസ്ഥാവകാശം, നിർമ്മാണാവകാശം എന്നിവ സെക്രട്ടറി പരിശോധിച്ച് ഉറപ്പുവരുത്തേണ്ടതാണ്.
- 2) നിർദ്ദിഷ്ട നിർമ്മാണം കെ.പി.ബി.ആർ. 2011-നും, കെ.എം.ബി.ആർ. 1999-നും അനുബന്ധ ഭേദഗതികൾക്കും, ബാധകമായ മറ്റ് നിയമങ്ങൾക്കും അനുസൃതമായിരിക്കണം.
- 3) കെട്ടിടത്തിന്റെ ഉയരം രോഡ് നികുപ്പിൽ നിന്നും കണക്കാക്കി കെ.പി.ബി.ആർ. 11 ലെ സെറ്റ്ബാക്ക് ചട്ടങ്ങൾ പാലിക്കുന്ന വിധത്തിൽ പരിമിതപ്പെടുത്തേണ്ടതാണ്. അപ്രകാരം പരിഷ്കരിച്ച പ്ലാനുകൾ പഞ്ചായത്തിൽ സമർപ്പിച്ച് അംഗീകാരം വാങ്ങേണ്ടതാണ്.
- 4) KCZMA യുടെ അംഗീകാരം വാങ്ങേണ്ടതും KCZMA യുടെ നിബന്ധനകളും കെ.പി.ബി.ആർ. ചട്ടങ്ങളും concurrent ആയി പാലിക്കണം.
- 5) SEIAA യുടെ അനുമതി ആവശ്യമെങ്കിൽ വാങ്ങേണ്ടതാണ്.
- 6) കെ.പി.ബി.ആർ. ചട്ടം 55(4) പ്രകാരം അഗ്നിശമന വകുപ്പിന്റെ അനുമതി വാങ്ങേണ്ടതും ചട്ടം 55 (5) പ്രകാരമുള്ള അഗ്നി സുരക്ഷാ ക്രമീകരണങ്ങൾ ഏർപ്പെടുത്തേണ്ടതുമാണ്.
- 7) Safety Provisions for high rise buildings നായി കെ.പി.ബി.ആർ. അദ്ധ്യായം XIX യെ പ്രതിപാദിച്ചിരിക്കുന്ന ചട്ടങ്ങളെല്ലാം പാലിച്ചിരിക്കണം.

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- 2) കെ.പി.ബി.ആർ അദ്ധ്യായം XVI പ്രകാരമവശ്യമായ rain water harvesting സൗകര്യങ്ങൾ, സിമന്റഡാർട്ടും നൽകേണ്ടതാണ്. അദ്ധ്യായം XVIII പ്രകാരമുള്ള solar assisted water heating Lighting System നൽകിയിരിക്കണം.
- 3) കെ.പി.ബി.ആർ ചട്ടം 51 ചട്ടംഅനുസരിച്ചുവെച്ചു പ്രകാരമുള്ള ലിഫ്റ്റ് നൽകേണ്ടതാണ്.
- 4) State Archeological Departmentsന്റെ നിർദ്ദേശങ്ങൾ സമർപ്പിക്കുന്നതിൽ ഏതുനിലവാരമെന്ന് ഉറപ്പു വരുത്തേണ്ടതാണ്. നിർദ്ദേശങ്ങൾ ഉള്ള പകരം ഏ.പി.സി വാങ്ങേണ്ടതാണ്.

അംഗീകരിച്ച സെറ്റ് പ്ലാൻ നമ്പർ 131/15 ഇതോടൊപ്പം ഉള്ളടക്കം ചേർച്ചുവെച്ചു.

മുഖ്യനഗരതാസൂത്രകന്റെ ഉത്തരവിൻ പ്രകാരം



  
 പി.കുമാർകുമാർ  
 സീനിയർ നഗരതാസൂത്രകൻ

സെക്രട്ടറി, ഫാറൂക്ക് ഗ്രാമപഞ്ചായത്ത്, കോഴിക്കോട് (പ്ലാൻ 1 സെറ്റ് സഹിതം)

- പകർപ്പ് - 1) ടൗൺ പ്ലാൻ, കോഴിക്കോട്.  
 2) അനിൽ ഭഗവാനന്ദൻ, ഭഗവാനന്ദൻ, കോഴിക്കോട്  
 3) വെബ്സൈറ്റ്, 4) കരുതൽ റെക്കോർഡ്, 5) അധികം.

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24-01-2017

The Member Secretary,  
State Environment Impact Assessment Authority (SEIAA)  
Pallimukku, Pettah P.O.,  
Thiruvananthapuram, Kerala – 695 024

Ref. : - 1) File No. 371/SEIAA/KL/2611/2014  
2) Minutes of the 62<sup>nd</sup> Meeting of SEIAA held on 23<sup>rd</sup> December, 2017

Sub.- Environmental Clearance – Proposed Housing Project “Sobha Rio Vista” in Sy. Nos. 159/28B (p) at Calicut, Feroke Petta (Chandhakadavu), Feroke Village and Panchayath, Kozhikode Taluk, Kozhikode District, Kerala – Submission of documents – Reg.

Respected Sir,  
This has reference to the application submitted for obtaining Environmental Clearance for our Housing Project “Sobha Rio Vista” in Sy. Nos. 159/28B (p) at Calicut, Feroke Petta (Chandhakadavu), Feroke Village and Panchayath, Kozhikode Taluk, Kozhikode District, Kerala.

Our project was recommended by SEAC in its 60<sup>th</sup> meeting of SEAC held on 28<sup>th</sup> & 29<sup>th</sup> July 2016 and the recommendation was considered by SEIAA, Kerala in its 62<sup>nd</sup> meeting held on 23<sup>rd</sup> December, 2016 and the SEIAA approved the project with a condition to submit an affidavit regarding the specific & general conditions. The affidavit in this regard is attached as **Annexure No. 1**.

In view of the submissions, we humbly request you to accord Environmental Clearance to our project at the earliest.

Thanking you,  
Yours respectfully,

For Sobha Developers Ltd.  
  
Ramakrishnan Prabhakaran  
(Authorized Signatory)

**P. RAMAKRISHNAN**  
DEPUTY MANAGING DIRECTOR  
Sobha Limited

Encl: As above

**SOBHA LIMITED** (formerly SOBHA DEVELOPERS LTD.)

1ST & 2ND FLOOR, EMPORA GEMZ, 2275/D2, 2275/D3, NH BY PASS ROAD, NEAR THONDAYAD JUNCTION, NELLIKODE POST, KOZHNIKODE - 673016. TEL: +91 -0495 2359368-365

REGD & CORPORATE OFFICE : 'SOBHA', SARJAPUR - MARATHAHALLI OUTER RING ROAD (ORR), DEVARABISANAHALLI, BELLANDUR POST BANGALORE - 560103, INDIA | CIN: L45201KA1995PLC01B475 | TEL : +91-80-49320000 | FAX : +9180 49320444 | www.sobha.com



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AFFIDAVIT

I, Ramakrishnan Prapbakaran, Deputy Managing Director & Authorized Signatory of M/s Sobha developers Limited having its correspondence office at 'SOBHA', Sarjapur-Marathahalli Outer Ring Road (ORR), Devarabisanahalli, Bellandur Post, Bangalore-560103, do hereby affirm and confirm as follows:-

1. That, M/s Sobha Developers Limited proposes to construct a project "Sobha

*[Handwritten Signature]*  
**P. RAMAKRISHNAN**  
 DEPUTY MANAGING DIRECTOR  
 Sobha Limited

No: 22983 100  
 Date: 24.1.2017  
 Name: *[Handwritten Name]*  
 S.R.O. Chevayur  
 Stamp Vendor  
**T. SABITHA**

*[Handwritten text]*







17-10-2016

**The Chairman**  
 State Environment Impact Assessment Authority (SEIAA)  
 Pallimukku, Pettah P.O.,  
 Thiruvananthapuram, Kerala - 695 024

Ref. : - 1) File No. 371/SEIAA/KL/2611/2014  
 2) Minutes of the 59<sup>th</sup> Meeting of SEIAA held on 27<sup>th</sup> September, 2016

Sub.- Environmental Clearance - Proposed Housing Project "Sobha Rio Vista" in Sy. Nos. 159/28B (p) at Calicut, Feroke Petta (Chandhakadavu), Feroke Village and Panchayath, Kozhikode Taluk, Kozhikode District, Kerala - Submission of Clarification - Reg.

Respected Sir,  
 This has reference to the application submitted for obtaining Environmental Clearance for our Housing Project "Sobha Rio Vista" in Sy. Nos. 159/28B (p) at Calicut, Feroke Petta (Chandhakadavu), Feroke Village and Panchayath, Kozhikode Taluk, Kozhikode District, Kerala.

The recommendation for grant of Environmental Clearance for our project made by SEAC was considered by the SEIAA in its 59<sup>th</sup> meeting of SEIAA held on 27<sup>th</sup> September, 2016 and directed us to submit the entire CSR undertakings rectifying the discrepancy found in the total of recurring amount.

In this connection, attached herewith the revised Corporate Social Responsibilities (CSR) along with the corrected fund allocation and the same is as **Annexure No.1**.

In view of the submission to the query raised by the SEIAA, we humbly request you to accord Environmental Clearance to our project at the earliest.

Thanking you,  
 Yours respectfully,

For Sobha Developers Ltd.

  
 Ramakrishnan Prabhakaran  
 (Authorized Signatory)

Encl: As above

SOBHA LIMITED (formerly SOBHA DEVELOPERS LTD.)  
 1ST & 2ND FLOOR, EMPORA GEMZ, 2275/D2, 2275/D3, NH BY PASS ROAD NEAR THONDAYAD JUNCTION, NELLIKODE POST,  
 KOZHIKODE - 673016 | TEL: +91 -0495 2359368-365  
 REGD & CORPORATE OFFICE - SOBHA, SARJAPUR - MARATHAHALLI OUTER RING ROAD (ORR), DEVARABISANAHALLI, BELLANDUR POST  
 BANGALORE - 560102, INDIA | CIN: L45201KA1995PLC018475 | TEL: +91-80-49720000 | FAX: +9180-49720444 | www.sobha.com



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## INTRODUCTION

To identify the needs of the nearby community to the project site, a community need assessment study was carried out in Feroke Gram Panchayat. The main purpose of the study was to assist M/s Sobha developers in delivering their Corporate Social Responsibility (CSR). As per the guidelines of *Company's Act (Amendment) 2013*, the study was mainly focused on the following areas.

1. Promotion of Quality Education
2. Public health and
3. Community Development

### Approach adopted

To conduct the study, primary and secondary data were used. Primary Data: Stake holder interviews, unstructured interviews, field observations, and telephonic survey. Secondary data: Yearly project document and Development Charter of the Panchayat.

### Stake Holders

As part of study the Socio Economic expert conducted interviews with different stakeholders of the Panchayat. The details of stake holders are given below

Sl. No	Name	Designation	Ph. No
01	Sarasu Valakada	President, Gram Panchayat	9605408018
02	Pushpalataha P	Vice President, Kudumbasree	9744806821
03	Tasveer A	Member, Gram Panchayat	9349122350
04	Aboobakar P	HM, Govt. MUP School, Feroke	9744307714
05	Asa krishanan E	Teacher, Govt. MUP School, Feroke	9847502431
06	P Indira	Anganwadi worker, Feroke	9387 281268
07	Muhammad K	Secretary, Bafakhi, Orphange	9847861526
08	Ahhamad Kutty	Lay man, Chandakadavu	9895715911

09	Merry	Teacher, Buds Special School, Feroke	9387340313
10	Dr. KR Balakrishnan	Director, Puthujeevan, Rehabilitation center	9447443901
11	Shaima M	Supervisor, ICDS	9744271526
12	Anil P	HI, PHC, Feroke	9497819434

**Feroke Gram Panchayat**

Feroke is situated 13 KM away from Kozhikode. The panchayat is on the way to get the status of Municipality. The three sides of the Panchayat are surrounded by rivers but lacking drinking water due to brackishness water.

**Panchayat at a glance**

Name of the Panchayat	Feroke Gram Panchayat
Geographical area	15.54 Km Sq
Total ward	23
Village	Feroke and Karuvanthuruthy
Block	Kozhikode
District	Kozhikode
Boundary	North – Chaliyar River East – Ramanattukara Gram Panchayat and Malayil thazham canal South – Vadakumbadu river West – Chaliyar river

**Demography**

Total Population	59,098
Total Male Population	29,404
Total Female Population	29,694
Total SC Population	4981

**Identified Corporate Social Responsibility**

The Socio - Economic expert conducted need assessment study in Feroke Gram Panchayat and identified Corporate Social Responsibility (CSR) for Sobha developers. The identified CSR activities are given below.

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## Education

A. There are 48 differently abled (Mentally retard) children studying in Buds special school. The project can support this school by providing adequate facilities.

Particulars	Amount (in Rs.)	Total (in Rs.)	Type of Expense
Computer with speakers		30,000	Non Recurring
Printer		4,000	Non Recurring
Projector		40,000	Non Recurring
Awareness/training/workshop to parents	7,000 x 3	21,000	Non Recurring
<b>Total</b>		<b>95,000</b>	

B. The Govt. MUP School Feroke has not a good drainage system, result is flood in ground during rainy season. The dust is another problem during summer season. Therefore the children can't properly use the school ground.

Particulars	Total (in Rs.)	Type of Expense
Renovation of ground	1,50,000	Non Recurring
Sports and games Equipments (Cricket & football kits, athletic equipments etc.,)	20,000	Non Recurring
<b>Total</b>	<b>1,70,000</b>	

C. The project can support the Govt. MUP School to improve the infrastructure facility. This will equip the school to provide quality training to the children.

Particulars	Amount (in Rs.)	Total (in Rs.)	Type of Expense
To purchase library books		8,000	Non Recurring
Book shelf	4000 x 2	8,000	Non Recurring
English coaching	400 x 20 x 10months	80,000	Recurring
Personality development classes and counseling sessions	2500 x 3	7,500	Recurring
Rejuvenation of labs		75,000	Non Recurring
<b>Total</b>		<b>1,78,500</b>	

D. The project can start a scholarship programme to 5 children from economically backward families to pursue their higher education.

Particulars	Amount (in Rs.)	Total (in Rs.)	Type of Expense
Scholarship	3000 x 12months x 5	1,80,000	Recurring
<b>Total</b>		<b>1,80,000</b>	

E. The project can provide maintenance or complete the work of 5 agnawadies and can build toilet and kitchen to anganwadi number 60 of the Gram Panchayat.

Particulars	Amount (in Rs.)	Total (in Rs.)	Type of Expense
Maintenance	70,000 x 5	3,50,000	Non Recurring
To build toilet and kitchen		1,50,000	Non Recurring
<b>Total</b>		<b>5,00,000</b>	

F. 32 boys are living in Bafakhi Thangal memorial Orphanage, karuvanthuruthy. The project can support the orphanage for the development of children.

Particulars	Amount (in Rs.)	Total (in Rs.)	Type of Expense
Computer		30,000	Non Recurring
Library books		5,000	Recurring
Book shelf	4,000 x 1	4,000	Non Recurring
Personality development classes	2000 x 3	6,000	Recurring
Scholarship to best student for higher education	30,000 x 1	30,000	Recurring
<b>Total</b>		<b>75,000</b>	

#### Health

A. The project can conduct cancer detection or medical camp in the Gram Panchayat with the help of PHC Feroke and Local Self Governement. The project can support to 5 cancer patients, whether they identified from the said medical camp or from Kozhikode Medical College.

Particulars	Amount (in Rs.)	Total (in Rs.)	Type of Expense
Cancer detection camp		60,000	Recurring
Medical support	35,000 x 5	1,75,000	Recurring
<b>Total</b>		<b>2,35,000</b>	

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B. The project can support the PHC in its activities to prevent the out breaking of infectious diseases in the Panchayat.

Particulars	Total (in Rs.)	Type of Expense
Vehicle -announcement	10,000	Recurring
Publish IEC materials	15,000	Recurring
<b>Total</b>	<b>25,000</b>	

C. The project can start a programme to help 10 kidney patients in the Panchayat for their dialysis.

Particulars	Amount (in Rs.)	Total (in Rs.)	Type of Expense
Support for dialysis	1,000 x 10 x 12months	1,20,000	Recurring
<b>Total</b>		<b>1,20,000</b>	

D. The project can provide medical aid to 30 patients from economically backward families. To get the support the patients need to collect a recommendation letter from Medical Officer of the PHC and Ward member of the Panchayat.

Particulars	Amount (in Rs.)	Total (in Rs.)	Type of Expense
Medical aid	500 x 30 x 12	1,80,000	Recurring
<b>Total</b>		<b>1,80,000</b>	

### Community Development

A. The project can reserve two post for unskilled labours in the proposed project for physically challenged/differently abled .

Particulars	Amount (in Rs.)	Total (in Rs.)	Type of Expense
Job	8500 x 2 x 12	2,04,000	Recurring
<b>Total</b>		<b>2,04,000</b>	

B. The project can support the Gram Panchayat, if they come forward to build a waste disposal system in the Panchayat.

Particulars	Total (in Rs.)	Type of Expense
Waste disposal system	5,00,000	Non Recurring
<b>Total</b>	<b>5,00,000</b>	

C. The project can start a forestation programme with the help of school children and can conduct a seminar on environment in relation to world environmental day.

Particulars	Amount (in Rs.)	Total (in Rs.)	Type of Expense
Forestation	Plants $500 \times 20 = 10,000$ Protection net $200 \times 500 = 1,00,000$	1,10,000	Non Recurring
Maintenance		25,000	Recurring
<b>Total</b>		<b>1,35,000</b>	

### Summary

Sl. No	Areas of Intervention	No. of Intervention	Recurring Expenses (in Rs.)	Non Recurring Expenses (in Rs.)
1	Education	6	3,08,500	8,90,000
2	Health	4	5,60,000	
3	Community Development	3	2,29,000	6,10,000
	<b>Total</b>	<b>13</b>	<b>10,97,500</b>	<b>15,00,000</b>